

2007 District Wide Facilities Evaluation  
Building Assessment Report

# Gearity Elementary School

2323 Wrenford Rd, University Heights, Ohio

prepared for:

## Cleveland Heights University Heights City School District

2155 Miramar Blvd, University Heights, Ohio

prepared by:

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July 20, 2007



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## Introduction

### Building Assessment Report Objectives

The Building Assessment Report objectives are as follows:

- To provide a descriptive and photographic inventory of existing conditions.
- To provide a prioritized budget for repairs and renovations of existing conditions.

### Building Assessment Approach

The assessment approach proceeded as follows:

- The District's original drawings were reviewed. Computer drawings were created based on these original drawings and verified on site.
- Each building was visited by a team of architects and engineers. Existing conditions were observed and recorded.
- These observations and records became the basis for the final Building Assessment documents. A Building Assessment Report was produced for each of the District's eleven active school facilities: (1) High School, (3) Middle Schools, and (7) Elementary Schools.

### Building Assessment Organization

The Building Assessment is divided into three Components:

- Narrative
- Cost Assessment
- Photos

Each of these three Components is further subdivided into the following Categories:

- |    |   |    |  |
|----|---|----|--|
| A. | Hazardous Materials                       | M. | Branch Circuit Panels and Wiring         |
| B. | Site                                      | N. | Kitchen Lighting and Power               |
| C. | Building Structure                        | O. | Exterior Lighting                        |
| D. | Building Envelope                         | P. | Interior Lighting                        |
| E. | Building Interior                         | Q. | Gymnasium Lighting                       |
| F. | Equipment and Furnishings                 | R. | Exit Signs and Emergency Egress Lighting |
| G. | Fire Protection                           | S. | Fire Alarm System                        |
| H. | Plumbing and Fixtures                     | T. | Security System                          |
| I. | Heating, Ventilating and Air Conditioning | U. | Public Address System                    |
| J. | C.E.I. Service                            | V. | Cable TV System                          |
| K. | Main Power Distribution Equipment         | W. | Data and Telephone Systems               |
| L. | Emergency Power Distribution Equipment    | X. | Clocks and Programs Bell                 |

### Narrative

The primary purpose of the Narrative is to provide a description of the existing conditions observed during visits to each of the District's fourteen facilities. The Narrative also serves as a general guide to the history of additions and renovations to the building, and describes the general construction of each addition.

### Cost Assessment

The primary purpose of the Cost Assessment is to provide preliminary budget information for repairs and renovations of existing conditions.

Within each Category of the Cost Assessment, the following Priorities were identified:

- Priority 1: work recommended to occur within the next 1-2 years
- Priority 2: work recommended to occur within the next 3-4 years
- Priority 3: work recommended to occur within the next 5-6 years

### Photos

During the building assessment, photos were taken to visually record the existing condition of each building and site. These Photos have been organized into the Categories outlined above.

### Assessment Limitations and Assumptions

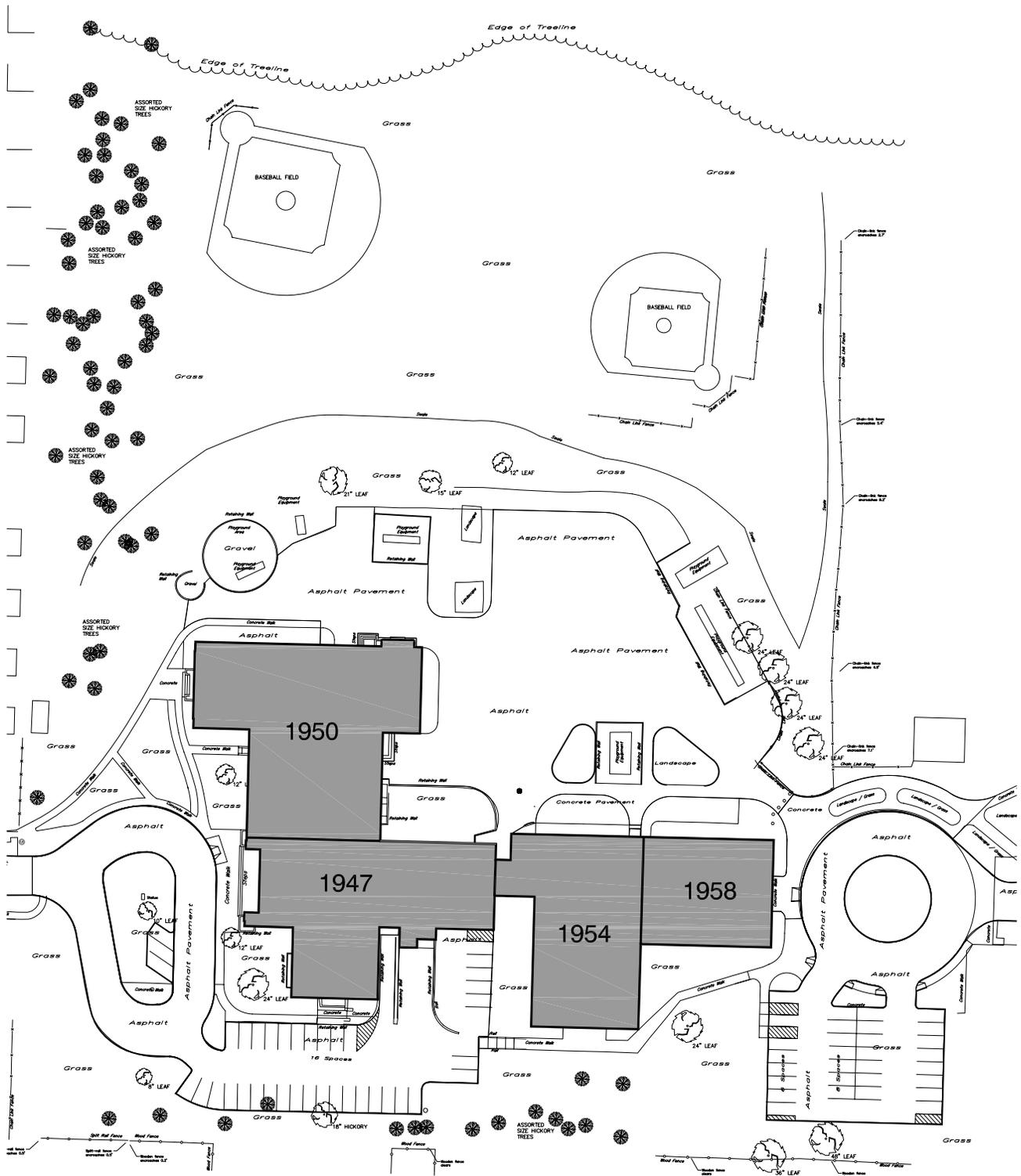
The following limitations and assumptions should be noted:

- This Facilities Assessment identifies building systems repair and renovation needs. Existing facilities do not always meet current program needs. Identifying and recommending needed space reconfigurations or building additions is beyond the scope of this report.
- The Cost Assessments provide estimated costs to replace or repair building finishes, components and systems that are damaged, missing, hazardous, inaccessible or approaching the end of useful life. The Cost Assessments do not generally provide costs to replace items which are merely aesthetically poor – but otherwise still functional and serviceable.
- The Cost Assessment is an assessment of Construction Cost. Add soft costs of 18-20% for Project Cost.
- Cost Assessment numbers are in current year dollars. An escalation / inflation factor needs to be applied at 3.5 to 4 percent for every year after 2007. Final cost estimating needs to be performed at the time the specific scope of a project is identified.
- Costs for items such as cleaning, painting, or other routine maintenance have not been included in the Cost Assessments.
- All assessments are visual and did not include physical tests, instrumentation or metering measurements, sampling or monitoring, unless otherwise noted.
- Buildings and components are inspected for condition and general safety and general accessibility requirements. The assessment does not include a complete OSHA, energy or ADA access study.

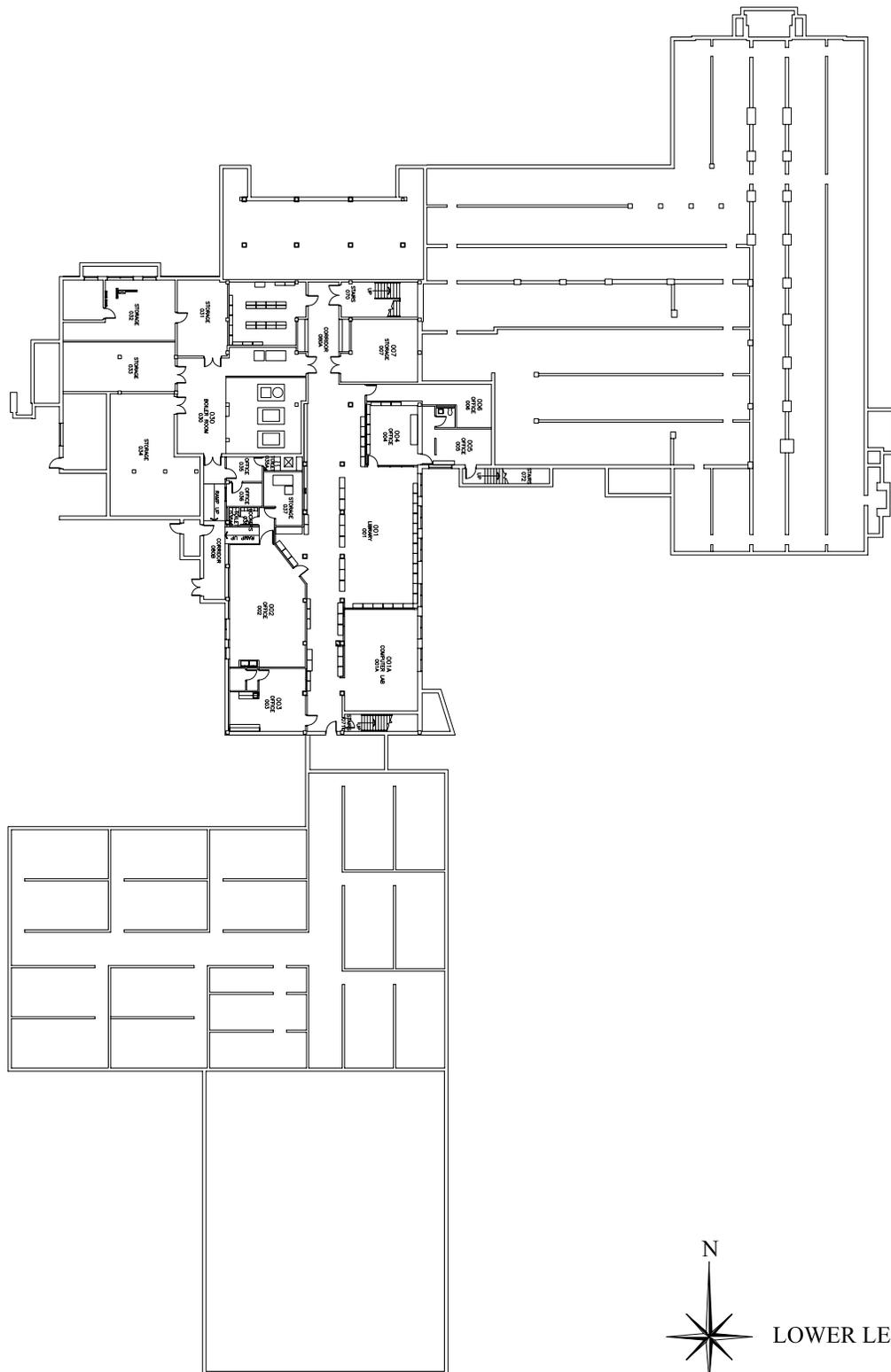
## History

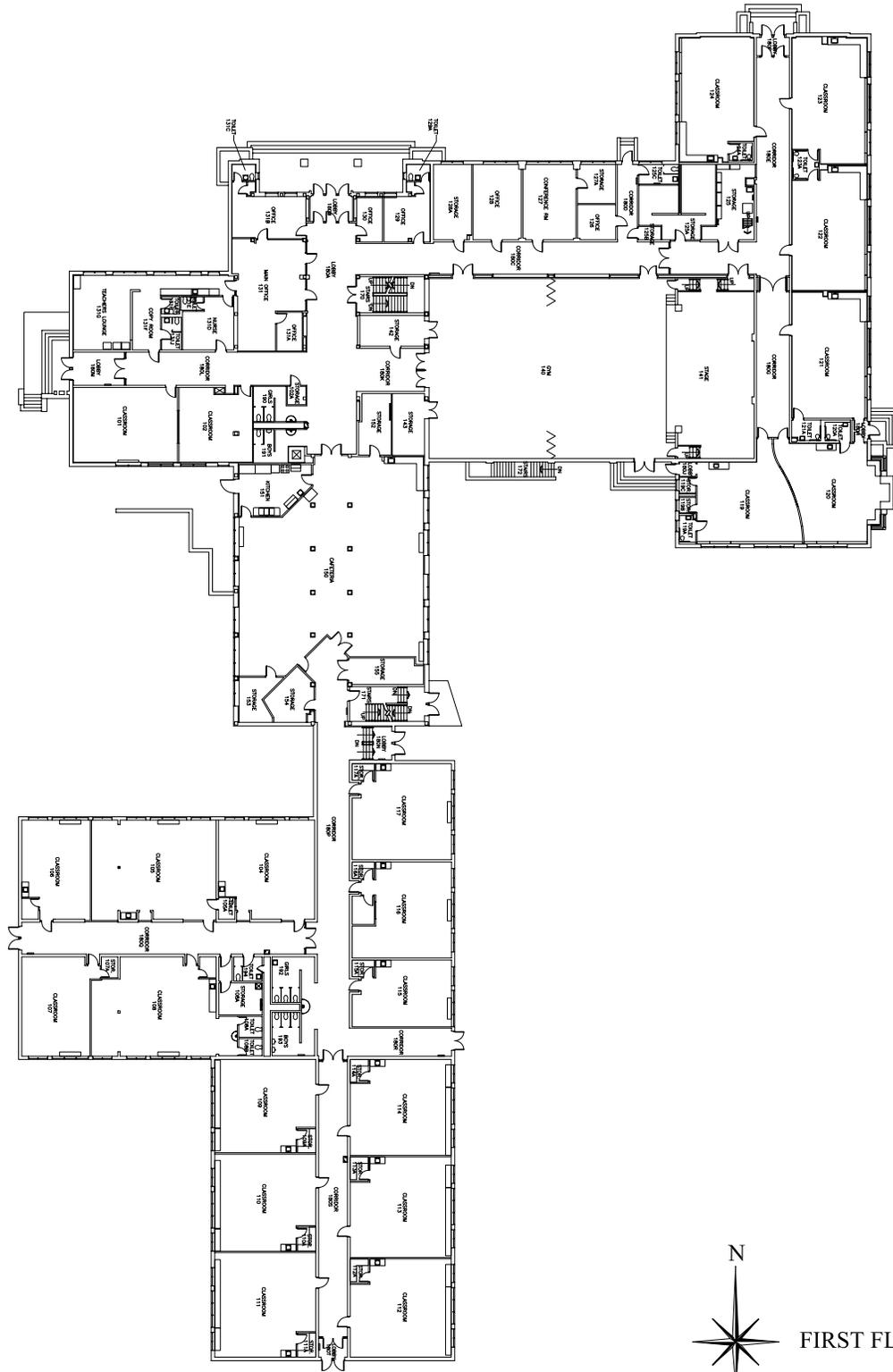
- Gearity Elementary School is a 67,602 gross square foot K-5 school located at 2323 Wrenford road in University Heights, Ohio. The original building was designed by Garfield, Harris, Robinson, and Schaeffer Architects. The drawings are dated 1947. Major additions, renovations and repairs to the school are listed below.

Date	Architect/Engineer	Description
1950	Garfield, Harris, Robinson and Schaeffer Architects	Gymnasium and Classroom addition
1954	Spahn and Barnes Architects	Single story classroom addition and alterations
1958	Unknown – Drawings unavailable	Single story classroom addition
1973	Richard Fleischman Architects	Interior alterations
1978	Pfitzenmaier & Jablonski Inc.	Mechanical Alterations
1980	Barber & Hoffman	Roof, gutter and wall repairs
1986	D.T. Levigne Co.	Roof repairs
1998	Burgess & Niple Engineers Architects	Interior Finishes
1999	Burgess & Niple, Ltd.	Fire alarm upgrade
2002	TEC Inc.	Technology upgrades
2003	H.T. Bernsdorff, Inc.	Boiler Replacement
2005	Irie Kynyk Goss Architects	Interior Alterations
Note: Additions, renovations and repairs listed above are from CHUH original drawings. Some minor renovations and repairs may not have been listed.		

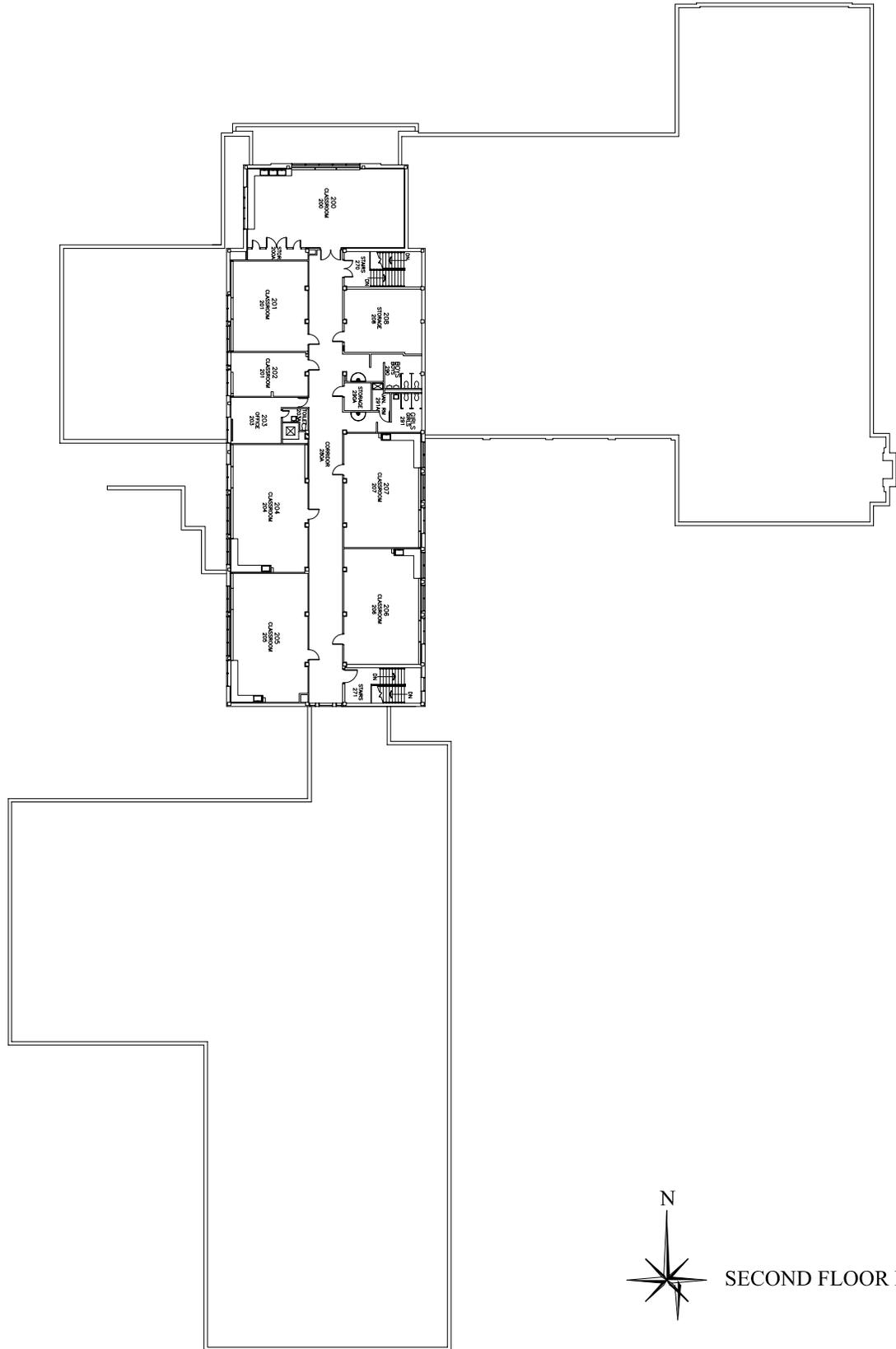


N  SITE PLAN





FIRST FLOOR PLAN



## **A: Hazardous Material**

CHUH has provided a copy of the Asbestos Containing Material (ACM) report dated July 3, 1998. The following types of ACM were identified at Gearity Elementary School:

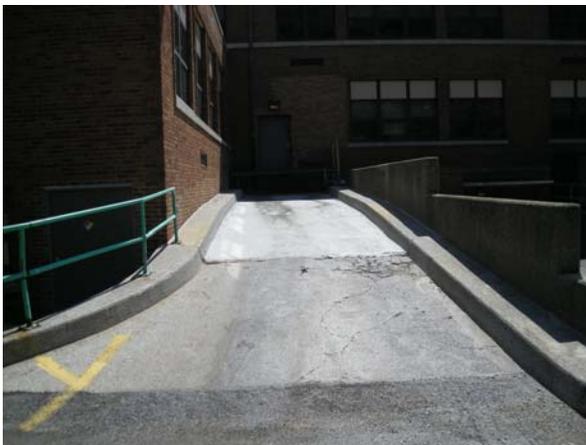
- Surfacing
- Miscellaneous

An updated ACM report will be conducted by a CHUH Hazmat Consultant in the Fall of 2007. The updated ACM report will locate, quantify and assign costs for removal/abatement of ACM throughout the school.

During interior building evaluations, some existing materials were identified as likely containing asbestos. These materials have been identified, and costs have been assigned for removal/replacement in Section E: Building Interior of both the Narrative and the Cost Assessment.

**B:Building Site**





## **B: Site**

### ADA

- There are 5 handicapped parking spaces at Gearity Elementary School, which is adequate for the 91 parking spaces on site. None of the spaces are marked as “Van Accessible,” and several do not have signs. The 3 handicapped parking spaces in the south lot must cross traffic. The 2 spaces in the north lot have a proper curb cut
- The sidewalk (and asphalt play area) are accessible from the north parking lot.
- Building mounted signage adequately directs visitors to the accessible entrance.
- The accessible entrance door is 36” wide, and the hardware is pull type. There is no automatic operator or power assist operator on the door.

### Site Furnishings

- All playground equipment at Gearity Elementary School appears new
- The bike rack to the north of the school is old, rusted and in need of replacement.
- Some areas of the existing chain link fence post, rail and gate have been damaged and should be replaced. These areas generally occur at the south swingset.

### Site Pavement

- Concrete pavements (walks) are in fair condition, with many areas requiring replacement.
- Concrete curbs are generally in fair-to-good condition. Spot cracked curbs replacement is required.
- Existing asphalt parking lot areas are in fair-to-poor condition. Many areas of asphalt have failed and require replacement. All parking lot areas should be resurfaced and restriped after asphalt repairs have been made.

### Landscaping

- Landscaping, where provided, is in fair condition.

## C:Building Structure



Cracking in CMU partition wall



Cracking in SGFT wall



Cracking in CMU partition wall



Lowest course in SGFT wall shifted



Separation of partition wall from interior wall



Separation of partition wall from exterior wall

## **C: Building Structure**

### Foundation

- The building foundation at the 1947 original building and all additions consists of concrete spread footings at concrete and masonry foundation walls.

### Walls/Chimneys

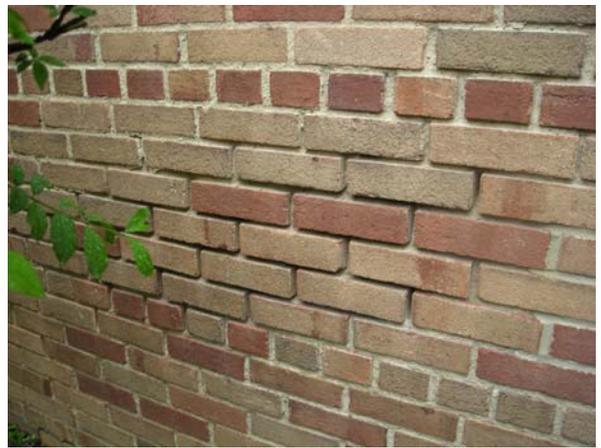
- The original building structure is steel reinforced concrete columns/beams, with masonry infill walls. The 1950 and 1954 additions consist of masonry bearing walls at the exterior and corridors. There is no structural information available from original drawings for the 1958 addition – it is assumed that these masonry walls are also bearing walls. The 1973 interior renovation cut large openings in the bearing walls of the various additions.
- In the 1954 and 1958 additions, many masonry partition walls have become separated from adjacent exterior and interior masonry bearing walls. The gap is often large enough to admit light, and is accompanied by hairline cracking on the partition walls.
- The lowest course of the portion of the SGFT exterior corridor wall (leading to the 1954 addition) is no longer aligned with the rest of the wall.

### Floors/Roofs

- Note: There is no structural information available from original drawings for the 1958 addition.
- The lower level/basement of the 1947 original building and 1950 addition is slab-on-grade.
- The first floor structure consists of joist slabs supported by steel reinforced concrete beams at the 1947 original building. The first floor structure of the 1950 and 1954 additions is 6” dox block with 2” topping supported by concrete beams.
- The second floor structure consists of joist slabs supported by steel reinforced concrete beams at the 1947 original building.
- The flat roof area of the 1947 original building is a concrete slab on steel roof joists, supported by masonry bearing walls. The structure of the 1950 addition flat roof is 2” slab on steel joists supported by steel beams and masonry bearing walls. The 1954 building flat roof structure is 3” perlite on steel joists supported by masonry bearing walls.
- Sloped roof areas of the 1947 original building are 2” wood deck over steel rafters, columns and beams. The 1950 addition sloped roof area is framed with steel rafters, beams and columns. Steel trusses and purlins span the gymnasium at the 1950 addition.

**D:Building Envelope**





## **D: Building Envelope**

### ADA

- Power assisted doors need to be added at a main entry.

### Masonry

- Exterior masonry typically consists of brick veneer with a concrete block backup. Limestone accent panels and limestone veneer surrounds the main entries of the original 1947 building. Some lintel cleaning/painting is required at previous window replacement. Lintel replacement is recommended at the 1954 & 1958 additions – lintels are expanding and displacing masonry. Spot stone repair and tuckpointing is required, primarily at the east elevation stair and chimney. Face Brick tuckpointing is required at all elevations, primarily above windows. Replacement of spalled face brick is required at the west elevation (office area). Some additional spot brick replacement is required.
- Glass Block masonry - see windows below.

### Exterior Doors/Frames

- Exterior doors are generally in fair condition but are recommended for replacement within the next 5-6 years with FRP doors and aluminum frames. Some door replacement with FRP/aluminum frames has been initiated.
- Some original wood entry doors are recommended for renovation.

### Windows

- The glass block “window walls” at the north and south walls of the gymnasium are in very poor condition and should be a priority replacement.
- Most windows at Gearity Elementary are newer thermally broken, anodized aluminum frame, insulated glass windows with insect screens. They are in good condition.

### Exterior Wood Soffits and Wood Trim:

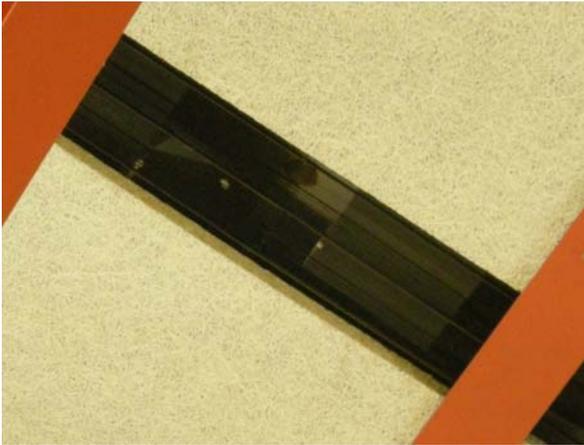
- The wood soffits at sloped roof overhangs and the wood roof edge trim at sloped roofs & dormers requires repair, cleaning and refinishing.

### Roofing

- The sloped roof areas are asphalt shingle covered. The slope roofing is in good condition. This roofing was installed in 1998.
- The copper standing seam roof above the main north entry is recommended for repair.
- The flat roof areas at Gearity Elementary are older (1988- early 1990’s) gravel surfaced built up roofing systems - some placed directly over concrete roof decks without insulation. This roofing is currently serving well but is recommended for replacement, within the next 5-6 years, due to age and lack of insulation.

**E:Building Interior**





## **E: Building Interior**

### ADA

- Note: The Americans with Disabilities Act (ADA) Title II requires that public school systems comply with the ADA in all of their services, programs, or activities, including those that are open to parents or to the public. During the Building Assessment, a limited visual observation for ADA compliance was conducted. A copy of the ADA compliance checklist is attached to the assessment for reference. It is understood that this review does not constitute a comprehensive survey of all required ADA compliance items.
- Interior signage is not mounted at ADA height, and does not have Braille or raised text.
- There is no elevator in the building to provide handicapped access to the second floor and basement. There is no platform lift or ramp to provide handicapped access to the stage or the “loft” area of the media center.
- Handicapped toilet stalls do not exist within the building.
- Group sinks at all group toilets are inaccessible semi-circular wash fountains. These sinks were typically in poor to fair condition, with significant staining and rusting at metal bottoms.
- Drinking fountains observed at the school were not ADA compliant.
- Toilets and urinals are in good condition, old but showing no significant damage.
- Hardware at most doors consists of original knobs, which are not ADA compliant.

### Egress/Life Safety

- Note: Interior egress/life safety items need only to be compliant with the building code in force when these items were originally constructed or renovated. As such, some items may not be in compliance with current egress/life safety components of the OBC. This assessment does not attempt to identify all work required to achieve said compliance.
- There are two enclosed stairwells at Gearity Elementary School. The stairs have magnetic door hold-opens installed in 2002. Stair doors have operational panic hardware.
- Guardrails at the stairwells are typically 36" high. They consist of a solid steel panels up to 24", topped by steel dowels at 24" on center, a flat steel bar, and curved steel dowels, at 24", supporting a handrail.

### Floor

- Carpet in recently remodeled areas is in good condition, but showing early wear. Older carpet is still in usable condition, but may be nearing the end of its life. Carpet in the basement rooms typically needs replacement.
- VCT is generally in fair to good condition. It was replaced in 1998, and is ageing normally. A few areas, such as Art and Storage rooms require replacement.
- VAT (vinyl asbestos tile) was found in two small rooms. It should be removed according to regulations.
- Ceramic tile floors at the group toilet rooms are in good condition, with minor repairs needed.
- Terrazzo at the restrooms is in good condition, though some minor cracking was observed and discoloration occurs in some areas.
- Epoxy paint in basement areas (custodial office, toilet rooms, pump room, etc.) is in poor-to-

fair condition and should be refinished.

#### Base

- Vinyl base is typically in fair-to-good condition. Typically, vinyl base should only be replaced when adjacent floor (carpet or VCT) is being replaced, but there are a few areas where it appears especially worn.
- Structural Glazed Facing Tile base at the group toilet rooms and in stairwells is in fair to good condition.

#### Walls

- Concrete block walls, apart from the problems described previously, are in typically good condition, with only minor, hairline cracking observed. An unusual amount of cracking was observed on the exterior wall of the south stair.
- SGFT walls in the Gymnasium are in good condition, but many have holes from removed equipment, and should be replaced. Walls in restrooms and stairwells are in good condition.
- Gypsum partition walls are typically in good condition. Some water damage was observed in the Kitchen.
- Partition walls in the Custodial areas should be replaced.
- The corridor wall of Room 003 shows severe water damage and deterioration. The paneling in this room is damaged and should be removed.

#### Ceilings

- Lay-in acoustical tile ceilings are generally in good-to-fair condition, with few areas requiring wholesale replacement. Selective tile and grid replacement is required. Many ceiling areas, while level and sound, had yellowed/discolored grid - an aesthetic concern which does not require immediate replacement.
- Many areas of concealed spline ceiling need complete replacement. All other areas require significant spot replacement.
- Plaster ceiling occur in restroom and utility spaces, and are in typically good condition.
- The ceiling of the gymnasium appears to be black expanded mesh and Tectum panels suspended below the original 12x12 adhered acoustic tile ceiling. These original tiles are falling onto the mesh. Both ceilings should be removed, and a proper new ceiling installed.

#### Interior Doors

- Most doors appear to be original wood construction, and function properly. Many wood doors have been repeatedly painted, and will require ongoing maintenance. Hollow metal doors in the basement are in poor-to-fair condition, with many requiring repair or replacement.
- Most door frames appear to be original construction, and function properly. Both hollow metal and wood frames exist.
- Door hardware is typically knob type, and is not ADA-compliant.

#### Visual Display Boards

- Visual display boards consist of chalkboards and tackboards in good condition. Even though they are old, they are still functional and show little serious deterioration.

#### Toilet Partitions

- Most toilet partitions are original metal partitions, and should be replaced.

#### Toilet Fixtures

- Toilet fixtures are in fair to good condition typically. No serious problems (leaks, cracking) were observed.

#### Toilet Accessories

- Toilet accessories are in fair to good condition typically.

#### Casework

- The condition of built-in casework (base/wall/tall cabinets) varies by location. Some casework replacement is required, mostly at wet locations - sink base cabinets, base/wall cabinets at the kitchen, etc.

#### Window treatments

- Horizontal mini-blinds are typical at most window openings. The blinds are in fair condition.

#### Other

- Most of the 1973 openings have been filled in with new drywall and doorways. The date of this construction is not known, but floor replacement drawings reflect that it was done by 1998. There are no drawings for the work, which appears to be properly done and in good condition.
- A portion of the depressed area in the Boiler room is not protected by a handrail.

## F:Equipment and Furnishings



## **F: Equipment and Furnishings**

### Student Furniture

- Many of the student desks are in poor condition. There is extensive chipping of tops and sides where chairs are stored on top of desk, and some failure of tops where desks have been overfilled and forced shut.

### Teacher Furniture

- The battleship-gray teacher desks are in poor-to-fair condition typically. Though serviceable, they seem to be nearing the end of their useful life. Other teacher desks are in fair condition.

### Other Furniture

- Generally, most of the remaining furniture is in fair condition. This includes the newer computer tables and general tables. Chairs are typically plastic with metal legs in fair condition.

### Gymnasium/Stage Equipment and Furnishings

- The stage curtains are old and stained, and should be replaced.
- The operable partition in the gymnasium is functional, but in poor condition and nearing the end of its useful life. It should be replaced with a divider curtain
- The wood floors of the gymnasium and stage are worn and should be refinished and restriped as required.
- Gymnasium equipment (backstops, ropes, etc.) appears to be in fair condition.

### Kitchen Equipment

- Kitchen equipment is variable in condition. The commercial equipment (sinks, coolers) is in good condition, while the residential equipment (range, refrigerator) requires replacement.

## I: Heating, Ventilation and Air Conditioning



Rooftop Ventilation



Air Room



Air Room



Fin Tube Enclosure and Casework



Unit Ventilation in Restroom



Wall Mounted Classroom Fan

## **G: Fire Protection**

None of the building (except the prop storage area) is currently sprinkled. To fully sprinkle the building, a dedicated fire line with a double detection check valve assembly in an outdoor pit would be required. Cost estimates include this work to sprinkle the building.

## **H: Plumbing and Fixtures**

The plumbing fixtures appear to be original but in fair condition. Many flush valves and hose bibb connections do not have vacuum breakers. Cost estimates are provided for one-for-one flush valve and faucet replacement. Most potable water pipe is copper and sanitary sewer pipe is cast iron hub and spigot with lead joints. The domestic hot water copper pipe is corroding through and has numerous leaks. This pipe should be replaced.

The storm sewer pipe is cast iron hub and spigot pipe with lead joints. The condition of this pipe and roof drains is unknown. Repair/replacement of this pipe was not included in the estimate.

- A domestic hot water heater and original building hot water storage tank is located in the boiler room. The building does have a domestic hot water recirculating pump.

## **I: Heating, Ventilating and Air Conditioning**

The building is heated by two steam boilers, which replaced the previous boilers in 2003. Steam heating coils are located in the gym air handling unit and all building unit ventilators.

The original 1947 building had cast iron radiators and steam unit ventilators in the classrooms. One central ventilation exhaust fan served the classrooms. Two central exhaust fans served the restrooms. One supply fan with steam coils and return air served the gym. And one supply fan with return air served the basement cafeteria. The gym is still served by this air system, but the fan now has a variable frequency drive controlling its speed.

The 1950 addition had unit ventilators and tied into the original building's central restroom exhaust fan system and unit ventilator's general exhaust fan system. Two small air handling units were added to ventilate the gym.

The 1954 and 1958 additions added steam unit ventilators in the classrooms. One central roof ventilator served the classrooms for each addition. An exhaust fan served the restrooms for the 1954 addition. The corridors are utilized for relief air for the unit ventilators which violates current code.

A 1973 renovations project added an air handling unit in the basement (with remote condensing unit) to replace the original building supply fan that served the basement. A rooftop air conditioning unit was also added to serve the teachers lounge.

A 2005 renovations project replaced the Teacher's Lounge rooftop unit with a new rooftop unit that serves the entire office area.

The outside air ventilation rates designed into the unit ventilators falls short of current code requirements. The exhaust ventilation for restrooms is also short of code requirements.

Cost estimates are included to replace the unit ventilators and exhaust systems.

### Special Areas

A room on the south end of the multi-purpose room and a room in the prop-storage area has been converted to server rooms. Split DX air conditioning units air condition these rooms with the condensing units on the roof. Cost estimates do not include any modifications for this room.

### Building Automation System

The building has "Traditional Building" Building Automation System (BAS). Because the extent of the automated components of the building are not known, the cost estimates do not include any proposed modifications to these controls.

### Recommendations

- Add a reduced pressure backflow preventer to the domestic cold water main entering the building.
- Replace plumbing fixture faucets, flush valves and hose bibs with faucets, flush valves and hose bibs with integral vacuum breakers.
- Replace the original building fans and coils that serve the gym with three new air handling units. These units should fit in the areas currently occupied by the existing units.
- Replace all unit ventilators. The unit ventilators are over 30 years old and should be replaced.
- Add dual water softeners to the boiler's make-up water system. This will help prolong the life of the boilers.
- Replace exhaust fans and increase ventilation to comply with current code requirements.
- Add fire dampers in ductwork that penetrates corridor walls and other fire rated assemblies. Note, this requirement would diminish if the building were fully sprinkled.
- Replace all domestic hot water piping.

- Add relief air ductwork for all of the unit ventilators to eliminate utilizing the corridors for this purpose to comply with current code requirements.
- Replace the air handling unit and condensing unit that serve the basement media center and art room areas.

Building Access		Yes	No	N/A	
1.	Is there an adequate number of wheelchair accessible parking spaces?	✓			
2.	Is there one wheelchair accessible van parking space for every 8 standard accessible spaces?	✓			Not Marked
3.	Are accessible parking spaces located on the shortest accessible route of travel from an accessible building entrance?	✓			
4.	Does signage exist directing users to a wheelchair accessible parking and an accessible building entrance?			✓	Not Needed
5.	Is there a ramp from the parking to an accessible building entrance?	✓			
6.	If the main entrance is inaccessible, are there alternate accessible entrances?	✓			
7.	Is the accessible entrance doorway at least 32" wide?	✓			
8.	Is the door handle easy to open? (Lever/push type knob, no twisting required, no higher than 48" above floor)	✓			
Building Corridors and Elevators		Yes	No	N/A	
1.	Is the path of travel free of obstructions and wide enough for a wheelchair (at least 60" wide)?	✓			
2.	Are floor surfaces firm, stable and slip resistant?	✓			
3.	Do obstacles (phones, fountains, etc.) protrude no more than 4" into walkways or corridor?	✓			
4.	Are elevator controls low enough to be reached from a wheelchair (48" front approach/54" side approach)?			✓	
5.	Are there raised elevator markings in Braille and Standard alphabet for the blind?			✓	
6.	Are there audible signals inside cars indicating floor changes?			✓	

7.	Do elevator lobbies have visual and audible indicators of the cars arrival?			✓	
8.	Does the elevator interior provide sufficient wheelchair turning area?			✓	
9.	Is at least one wheelchair accessible public phone available?		✓		
10.	Are wheelchair accessible facilities (restrooms, exits, etc.) identified with signage?			✓	
	<b>Restrooms</b>	<b>Yes</b>	<b>No</b>	<b>N/A</b>	
1.	Are common area public restrooms located on an accessible route?			✓	
2.	Are pull handles push/pull or lever type?			✓	No Doors
3.	Are access doors wheelchair accessible (at least 32" wide)?			✓	
4.	Are public restrooms large enough for wheelchair turnaround (60" diameter)?		✓		
5.	Are stall doors wheelchair accessible (at least 32" wide)?		✓		
6.	Are grab bars provided in toilet stalls (33"-36" above floor)?		✓		
7.	Do sinks provide clearance for a wheelchair to roll under (29" clearance)?		✓		
8.	Are sink handles operable with one hand without grasping, pinching or twisting?		✓		
9.	Are exposed pipes under sink sufficiently insulated against contact?	✓			
10.	Are soap dispensers, towel, etc. reachable (48" from floor for frontal approach, 54" for side approach)?	✓			
11.	Is the base of the mirror no more than 40" off floor?		✓		

## Cost Summary of Gearity Elementary School

1. The Cost summary is an estimate of Construction Cost
2. Add soft costs of 18-20% for Project Cost.
3. Add an escalation/inflation factor of 3.5-4% for every year after 2007.

Priority 1: next 0-2 years	\$1,060,176
Priority 2: next 3-4 years	\$1,841,348
Priority 3: next 5-6 years	\$382,285
<b>Total Priority 1-3 next 6 years</b>	<b>\$3,283,809</b>

<p>Note: Some electrical Categories within the Cost Assessment contain <u>Priority 4</u> items, with action required in the next 7-10 years. These items are not identified in the total cost for <u>Priority 1-3</u> noted above. Please review the attached Cost Assessment for Categories which contain <u>Priority 4</u> items.</p>	
Priority 4: next 7-10 years	\$192,000

**A: Hazardous Materials**

Total Priority 1-3: next 6 years

**To be determined**

An updated ACM report will be conducted by a CHUH Hazmat Consultant in the Fall of 2007. The updated ACM report is to locate, quantify and assign costs for removal/abatement of ACM throughout the school.

**B: Site**

Total Priority 1-3: next 6 years

**\$438,188**

**Priority 1: next 0-2 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
ADA - Parking lot signage	lump	5	\$ 200.00	\$ 1,000.00	
Replace handrail	l.f.	177	\$ 200.00	\$ 35,400.00	
<b>Subtotal Priority 1:</b>				<b>\$36,400</b>	

**Priority 2: next 3-4 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
Asphalt replacement	sf	80505	\$ 2.90	\$ 233,464.50	
Asphalt resurfacing	sf	67707	\$ 1.25	\$ 84,633.75	
Asphalt restriping	lump	1	\$ 4,500.00	\$ 4,500.00	
Concrete walk replacement	sf	12558	\$ 5.00	\$ 62,790.00	
Concrete curb replacement	lf	240	\$ 15.00	\$ 3,600.00	
Chain link fence mesh replacement	sf	1200	\$ 3.00	\$ 3,600.00	
Chain link fence gate replacement	ea	1	\$ 250.00	\$ 250.00	
Replace chain link baseball backstop	ea	1	\$ 5,000.00	\$ 5,000.00	
<b>Subtotal Priority 2:</b>				<b>\$397,838</b>	

**Priority 3: next 5-6 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
Replace bench	ea	2	\$ 800.00	\$ 1,600.00	

Replace waste receptacle and stand	ea	2	\$ 400.00	\$ 800.00
Replace bike rack	ea	1	\$ 800.00	\$ 800.00
Replant bed	lump	1	\$ 750.00	\$ 750.00
Subtotal Priority 3:				\$3,950

**C: Building Structure**

Total Priority 1-3: next 6 years  
**\$10,400**

**Priority 1: next 0-2 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
Repair SGFT wall - first floor	s.f.	120	\$ 45.00	\$ 5,400.00	Lowest course kicks out into corridor. Located at exterior wall. Further structural investigation required prior to correction.
CMU partition walls cracking away from exterior wall	s.f.	200	\$ 25.00	\$ 5,000.00	Vertical separation of interior partitions from exterior walls in 1954 and 1958 addition, with cracks in partition walls. Rebuild corners and tie partition walls into exterior walls. Further structural analysis required prior to corrections.

Subtotal Priority 1: \$10,400

**Priority 2: next 3-4 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
No Items					

**Priority 3: next 5-6 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
No Items					

**D: Building Envelope**

Total Priority 1-3: next 6 years  
**\$467,145**

**Priority 1: next 0-2 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
<b>ADA</b>					
Install power doors	each	2	\$ 7,500.00	\$ 15,000.00	Provide exterior door & vestibule doors assisted operation
<b>Conc. / Plaster</b>					
Concrete Stair Repair / Replace	lump	1	\$ 2,500.00	\$ 2,500.00	Repair concrete stair at north main entry
Patch / repair concrete walls & Stairs	lump	1	\$ 4,000.00	\$ 4,000.00	Stairs at northwest entry
<b>Metals</b>					
Replace Exterior Rail Syst.	l.f.	120	\$ 135.00	\$ 16,200.00	With Pipe & picket rail system at east elevation (two locations) and at west elevation (dock area)
<b>Wood Soffits/fascias</b>					
Clean, repair & paint exterior wood soffits / related trim	s.f.	1,750	\$ 10.00	\$ 17,500.00	Repair paint wood roof overhangs (soffits) at original 1947 construction.
Clean, repair, replace & paint misc, wood fascia, trim	l.f.	150	\$ 15.00	\$ 2,250.00	Fascias at dormers, sloped roof edges etc. at original 1947 structure.
<b>Wall Openings</b>					
Replace Glass Block Windows	s.f.	800	\$ 100.00	\$ 80,000.00	At north & south gymnasium elevations. Replace glass block with insulated, translucent panel system.

Clean / paint Lintels - 1954, 1958 additions	l.f.	306	\$ 35.00	\$ 10,710.00	Clean & paint lintels at existing newer windows
Clean / paint Lintels - 1950 addition	l.f.	80	\$ 35.00	\$ 2,800.00	Clean & paint lintels at existing newer windows
<b>Subtotal Priority 1:</b>				<b>\$150,960</b>	

**Priority 2: next 3-4 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
<b>Masonry</b>					
Brick Tuck-point	s.f.	1,200	\$ 9.00	\$ 10,800.00	Spot tuckpointing - east west, south & north elevations with bulk of tuckpointing above window heads
Stone Repair & tuck-point	lump	1	\$ 5,500.00	\$ 5,500.00	East elevation (SE corner) chimney and contiguous stone work to grade
Replace Brick	s.f.	150	\$ 25.00	\$ 3,750.00	West elevation at Office area where brick has spalled.
Exp. Joint Seal	lump	1	\$ 500.00	\$ 500.00	minor joint back-up / seal
<b>Wall Openings</b>					
Replace Lintels - 1954, 1958 additions	l.f.	48	\$300.00	\$ 14,400.00	At existing newer windows. Remove, shore, and install galvanized
Refurbish Lintels	l.f.	80	\$25.00	\$ 2,000.00	Clean & paint lintels at window replacement
Replace doors & Hardware	each	8	\$ 1,500.00	\$ 12,000.00	Replace hollow metal doors & hardware
Renovate original wood	each	6	\$ 2,500.00	\$ 15,000.00	Renovate wood doors , replace glass and hardware
<b>Roofing</b>					
Replace Built Up Roofing - 7 separate roof areas	s.f	19,600	\$ 11.00	\$ 215,600.00	Reference Tremco & Technical Assurance (TA) Roof Area Designations C, C-1, D, D-1, D-2, D-3, & E
<b>Subtotal Priority 2:</b>				<b>\$279,550</b>	

**Priority 3: next 5-6 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
<b>Roofing</b>					
Repair Copper Standing Seam Roof	s.f.	565	\$ 15.00	\$ 8,475.00	Metal roofing in fair condition - Reference TA Roof Area 'G'
Replace Built Up Roofing	s.f	2,560	\$ 11.00	\$ 28,160.00	Reference Tremco & TA Roof Area Designations 'B'
Subtotal Priority 3:				\$36,635	

**E: Building Interior**

Total Priority 1-3: next 6 years  
**\$744,776**

**Priority 1: next 0-2 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
ADA- Provide accessible toilet stall	ea	4	\$ 1,200.00	\$ 4,800.00	Reconfigure existing group toilet room to provide accessible stall
ADA - Provide accessible toilet room	ea	7	\$ 17,000.00	\$ 119,000.00	Reconfigure/expand existing small toilet room to provide accessibility; includes sink and toilet
ADA - Provide accessible restroom sink	ea	4	\$ 750.00	\$ 3,000.00	Where accessible stalls are provided in existing group toilet rooms
ADA - Provide accessible drinking fountains	ea	5	\$ 2,500.00	\$ 12,500.00	Quantity as required per ADA
ADA - Replace interior signage	bldg sf	67602	\$ 0.11	\$ 7,436.22	Typical throughout building
ADA - Replace inaccessible door hardware	bldg sf	69	\$ 450.00	\$ 31,050.00	Typical where knobs exist at required accessible spaces
ADA - Provide elevator	ea	1	\$ 165,000.00	\$ 165,000.00	Access all floors
ADA - Provide chair lift	ea	4	\$ 18,000.00	\$ 72,000.00	To stage
Remove/Abate VAT	sf	345	\$ 3.50	\$ 1,207.50	Asbestos Containing Material
Correct/level concrete floor - poor condition (4)	sf	287	\$ 5.50	\$ 1,578.50	Boiler room areas, first floor corridors, second floor boys room, etc.
Replace carpet tile	sy	63	\$ 30.00	\$ 1,900.00	Where seams are visible, and tiles are poorly adhered to substrate.
Replace VCT	sf	1481	\$ 2.50	\$ 3,702.50	Includes replacement of adjacent base

Spot replace/patch masonry wall	sf	60	\$ 10.00	\$ 600.00	
Replace partition wall	s.f.	810	\$ 5.50	\$ 4,455.00	New metal stud partition with gypsum board each side
Spot replace 12x12 tile	ea	57	\$ 4.00	\$ 228.00	
Replace 12x12 acoustical ceiling	sf	6691	\$ 3.25	\$ 21,745.75	
Replace ACT lay-in ceiling	sf	473	\$ 2.75	\$ 1,300.75	
Spot replace ACT tile only	sf	996	\$ 1.50	\$ 1,494.00	
Replace Gymnasium ceiling	sf	3955	\$ 5.50	\$ 21,752.50	Includes demolition of two existing ceilings
Replace metal frame and door, and hardware	ea	4	\$ 765.00	\$ 3,060.00	Frame scratched, gouged, broken, poorly retrofitted, corroded, missing elements
Replace metal frame, wood door, and hardware	ea	3	\$ 865.00	\$ 2,595.00	Frame scratched, gouged, broken, poorly retrofitted, corroded, missing elements
Replace base cabinet w/ countertop	lf	275	\$ 350.00	\$ 96,250.00	
Replace toilet partition	stall	14	\$ 1,000.00	\$ 14,000.00	Typically deteriorated metal partitions
Replace rubber stair treads	lf	44	\$ 15.00	\$ 660.00	Typical at most stairs
Install/replace metal pipe handrails	lf	60	\$ 35.00	\$ 2,100.00	Missing or broken
Subtotal Priority 1:				\$593,416	

**Priority 2: next 3-4 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
Repair and repaint or reseal concrete floor	sf	4967	\$ 1.50	\$ 7,450.50	Includes minor patching of floor cracks, etc.
Replace carpet	sy	916	\$ 27.00	\$ 24,738.00	Includes replacement of adjacent base
Refinish terrazzo floor/ tread	sf	307	\$ 11.00	\$ 3,377.00	At bottom of "northwest" stair and other minor areas
Refinish wood floor	sf	5330	\$ 3.00	\$ 15,990.00	Includes striping at gymnasium areas
Replace ceramic tile floor	sf	263	\$ 10.00	\$ 2,630.00	Substrate issue
Replace rubber tile floor	sf	70	\$ 8.00	\$ 560.00	At ramp
Replace vinyl base	lf	365	\$ 2.50	\$ 912.50	
Spot replace SGFT wall	sf	108	\$ 40.00	\$ 4,320.00	Holes, cracks
Repair/patch plaster wall - fair condition (3)	room sf	5657	\$ 2.50	\$ 14,142.50	
Repair and repaint masonry wall - fair condition (3)	room sf	3837	\$ 4.50	\$ 17,266.50	
Repair and repaint plaster ceiling - fair condition (3)	sf	273	\$ 3.00	\$ 819.00	
Replace wood door and hardware	ea	6	\$ 750.00	\$ 4,500.00	
Replace wood door, frame and hardware	ea	2	\$ 865.00	\$ 1,730.00	
Rekey doors to master key system	ea	182	\$ 182.00	\$ 33,124.00	
Subtotal Priority 2:				\$131,560	

**Priority 3: next 5-6 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
Remove existing gymnasium partition, replace with divider curtain	sf	1200	\$ 16.50	\$ 19,800.00	
Subtotal Priority 3:				\$19,800	

**F: Equipment & Furnishings**

Total Priority 1-3: next 6 years  
**\$313,000**

**Priority 1: next 0-2 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
No Items					

**Priority 2: next 3-4 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
Selective replacement of loose furnishings	bldg sf	124,700	\$ 2.50	\$ 311,750	Includes student, teacher and administrator desks and chairs, classroom storage not listed in Category E, and tables
Kitchen equipment replacement	lump	1	\$ 1,350.00	\$ 1,350	Includes stove and refrigerator replacement
Subtotal Priority 2:				\$ 313,100	

**Priority 3: next 5-6 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
No Items					

**G: Fire Protection**

Total Priority 1-3: next 6 years  
**\$270,300**

**Priority 1: next 0-2 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
No Items					

**Priority 2: next 3-4 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
No Items					

**Priority 3: next 5-6 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
Sprinkler System	S.F.	70800	\$ 3.50	\$ 247,800.00	
Fire Service Line	L.F.	250	\$ 30.00	\$ 7,500.00	
Fire Valve Vault	Lump	1	\$ 15,000.00	\$ 15,000.00	
Subtotal Priority 3:				\$270,300	

**H: Plumbing**

Total Priority 1-3: next 6 years  
**\$192,000**

**Priority 1: next 0-2 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
Add Building Backflow Preventer	Lump	1	\$ 5,000.00	\$ 5,000.00	
Replace faucets, hose bibbs and flush valves	Each	60	\$ 450.00	\$ 5,000.00	
Replace all domestic hot water piping	S.F.	70800	\$ 2.50	\$ 177,000.00	
Add softner to Boiler Make-up	Lump	1	\$ 5,000.00	\$ 5,000.00	
<b>Subtotal Priority 1:</b>				<b>\$192,000</b>	

**Priority 2: next 3-4 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
No Items					

**Priority 3: next 5-6 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
No Items					

**I: Heating, Ventilating & A/C**

Total Priority 1-3: next 6 years  
**\$640,800**

**Priority 1: next 0-2 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
Install Fire Dampers in Ductwork	Each	27	\$ 500.00	\$ 13,500.00	
<b>Subtotal Priority 1:</b>				<b>\$13,500</b>	

**Priority 2: next 3-4 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
Replace Unit Ventilators	Each	36	\$ 7,000.00	\$ 252,000.00	
Replace Toilet Exhaust	Lump	1	\$ 13,500.00	\$ 13,500.00	
Duct Unit Ventilators Relief Air	S. F.	70800	\$ 3.50	\$ 247,800.00	
Replace basement AHU and Cond. Unit	Lump	1	\$ 45,000.00	\$ 45,000.00	
Replace Gyms 3 AHUs	Lump	1	\$ 69,000.00	\$ 69,000.00	
<b>Subtotal Priority 2:</b>				<b>\$627,300</b>	

**Priority 3: next 5-6 years**

<i>Item</i>	<i>Unit</i>	<i>Qty.</i>	<i>Unit Cost</i>	<i>Assessed Cost</i>	<i>Comments</i>
<b>Subtotal Priority 3:</b>					

**J: C.E.I. Service**

Total Priority 1-3: next 6 years  
**\$0**

**Priority 4: next 7-10 years**

<i>Item</i>	<i>Assessed Cost</i>	<i>Comments</i>
Consolidate & Upgrade	\$40,000.00	Must Package With Items "H" & "I"
<b>Subtotal Priority 4:</b>	<b>\$40,000</b>	

**H: Main Power Distribution Equipment**

Total Priority 1-3: next 6 years  
**\$0**

**Priority 4: next 7-10 years**

<i>Item</i>	<i>Assessed Cost</i>	<i>Comments</i>
Consolidate and Upgrade	\$90,000.00	Must Package With Items "J" & "I"
<b>Subtotal Priority 4:</b>	<b>\$90,000</b>	

**I: Emergency Power Distribution Equipment**

Total Priority 1-3: next 6 years  
**\$0**

**Priority 4: next 7-10 years**

<i>Item</i>	<i>Assessed Cost</i>	<i>Comments</i>
Expand and Automate	\$25,000.00	Must Package With Items "J" & "H"
<b>Subtotal Priority 4:</b>	<b>\$25,000</b>	

**J: Branch Circuit Panels and Wiring**

Total Priority 1-3: next 6 years  
**\$0**

**Priority 4: next 7-10 years**

<i>Item</i>	<i>Assessed Cost</i>	<i>Comments</i>
Replace 6 Existing Branch Panels	\$25,000.00	Obsolete and Tired
Subtotal Priority 4:	\$25,000	

**K: Kitchen Lighting and Power**

Total Priority 1-3: next 6 years  
**\$1,500**

**Priority 1: next 0-2 years**

<i>Item</i>	<i>Assessed Cost</i>	<i>Comments</i>
Replace Existing Fluorescent Fixtures	\$1,500.00	
Subtotal Priority 1:	\$1,500	

**L: Exterior Lighting**

Total Priority 1-3: next 6 years  
**\$21,100**

**Priority 3: next 5-6 years**

<i>Item</i>	<i>Assessed Cost</i>	<i>Comments</i>
5 Additional Wallpacks	\$5,000.00	
5 Canopy Lighting Retrofits	\$5,000.00	
1 Pole Mounted Upgrade	\$1,500.00	
12 Wallpack Replacements	\$9,600.00	
Subtotal Priority 3:	\$21,100	

**M: Interior Lighting**

Total Priority 1-3: next 6 years  
**\$89,000**

**Priority 1: next 0-2 years**

<i>Item</i>	<i>Assessed Cost</i>	<i>Comments</i>
Replace Fluorescent Fixtures in Media Center	\$10,000.00	Falling Apart
<b>Subtotal Priority 1:</b>	<b>\$10,000</b>	

<i>Item</i>	<i>Assessed Cost</i>	<i>Comments</i>
Replace Lighting in 14 Classrooms	\$65,000.00	Obsolete Fixtures
Upgrade lighting in 6 Lavs	\$12,000.00	Tired Fixtures
Replace Stage Mercury Vapors With Fluorescents	\$2,000.00	Obsolete Mercury Vapors
<b>Subtotal Priority 2:</b>	<b>\$79,000</b>	

**Priority 4: next 7-10 years**

<i>Item</i>	<i>Assessed Cost</i>	<i>Comments</i>
Replace 80 Cafeteria U-tube Fixtures	\$12,000.00	
<b>Subtotal Priority 4:</b>	<b>\$12,000</b>	

**N: Gymnasium Lighting**

Total Priority 1-3: next 6 years  
**\$15,500**

**Priority 3: next 5-6 years**

<i>Item</i>	<i>Assessed Cost</i>	<i>Comments</i>
Replace With Pulse Start Metal Halide Fixtures	\$12,000.00	
Fluorescent Walk-thru Lighting	\$3,500.00	
<b>Subtotal Priority 3:</b>	<b>\$15,500</b>	

**O: Exit Signs and Emergency Egress Lighting**

Total Priority 1-3: next 6 years

**\$50,000**

**Priority 1: next 0-2 years**

<i>Item</i>	<i>Assessed Cost</i>	<i>Comments</i>
Emergency Power Exit Signs	\$4,000.00	
Emergency Egress Lighting	\$46,000.00	
Subtotal Priority 1:	\$50,000	

**P: Fire Alarm**

Total Priority 1-3: next 6 years

**\$0**

**Satisfactory**

**Q: Security System**

Total Priority 1-3: next 6 years

**\$10,500**

**Priority 2: next 3-4 years**

<i>Item</i>	<i>Assessed Cost</i>	<i>Comments</i>
3 Additional Wall Mounted P/T/Z Cameras	\$ 10,500.00	
Subtotal Priority 2:	\$10,500	

**R: Public Address System**

Total Priority 1-3: next 6 years

**\$2,000**

**Priority 1: next 0-2 years**

<i>Item</i>	<i>Assessed Cost</i>	<i>Comments</i>
Retrofit With Best-Grade UPS Module	\$2,000.00	
Subtotal Priority 1:	\$2,000	

**S: Cable TV System**

Total Priority 1-3: next 6 years

**\$0**

**Satisfactory**

**T: Data and Telephone Systems**

Total Priority 1-3: next 6 years

**\$2,500**

**Priority 2: next 3-4 years**

<i>Item</i>	<i>Assessed Cost</i>	<i>Comments</i>
Replace UPS System Batteries	\$2,500.00	Required every 4-5 years
Subtotal Priority 2:	\$2,500	

**U: Clocks and Program Bells**

Total Priority 1-3: next 6 years

**\$15,000**

**Priority 3: next 5-6 years**

<i>Item</i>	<i>Assessed Cost</i>	<i>Comments</i>
Wireless Clock System	\$15,000.00	With P.A. System Interface
Subtotal Priority 3:	\$15,000	